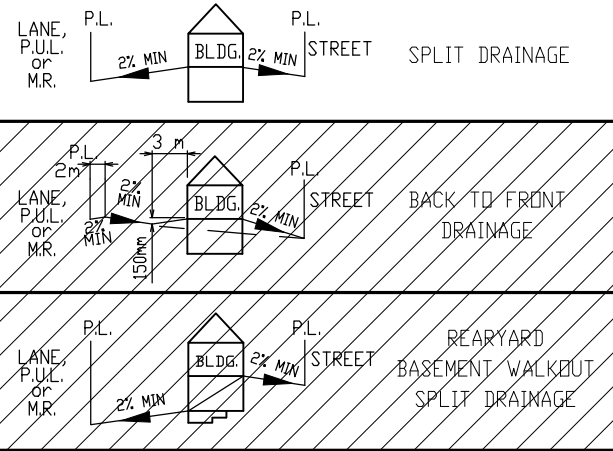


BUILDING GRADE CERTIFICATE

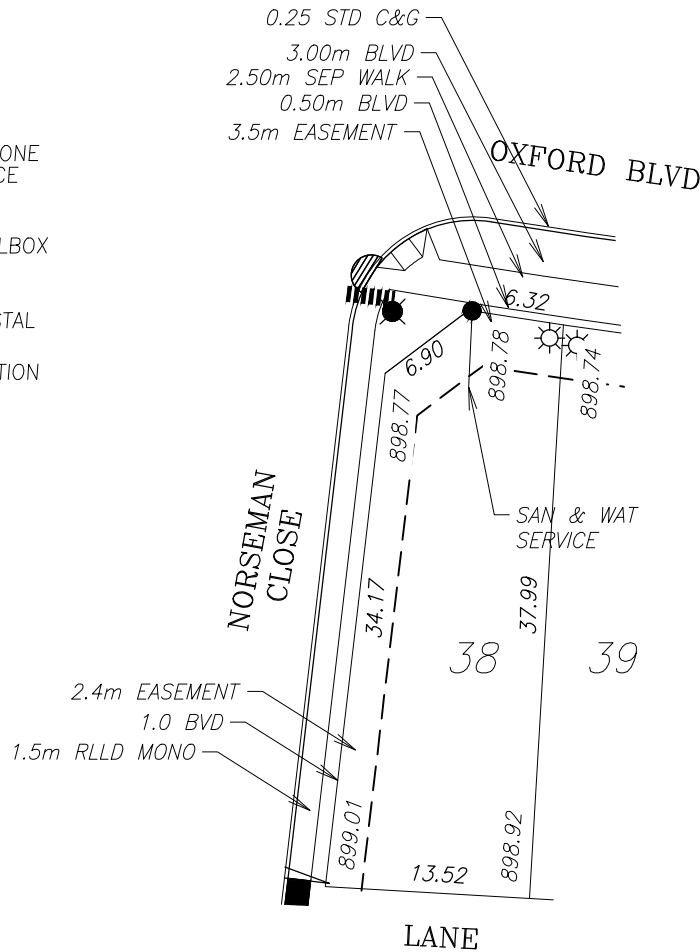
Town of Penhold
 Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE TOWN OF PENHOLD ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



LEGEND

- SAN & WATER
- ⊙ FIRE HYDRANT
- ⊙ GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- STREET LIGHT
- ⊠ COMMUNITY MAILBOX
- TRANSFORMER
- ⬠ 3 PARTY PEDESTAL
- ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 6.03m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 1.97
 LOWEST ELEVATION = 896.79

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 895.94
 STORM AT 5.0m INSIDE LOT = 895.94

CIVIC ADDRESS: 88 Oxford Blvd
 LOT: 38 BLOCK: 2 PLAN No.: -
 DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015
 APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015
 RECEIVED BY: DATE:

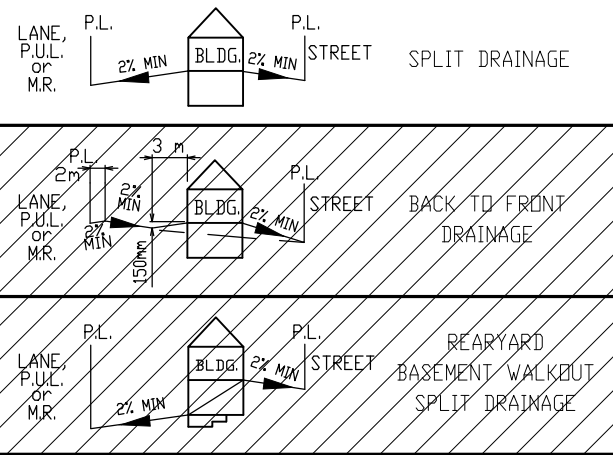
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 899.11
 ELEV. AT REAR OF HOUSE = 899.35

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

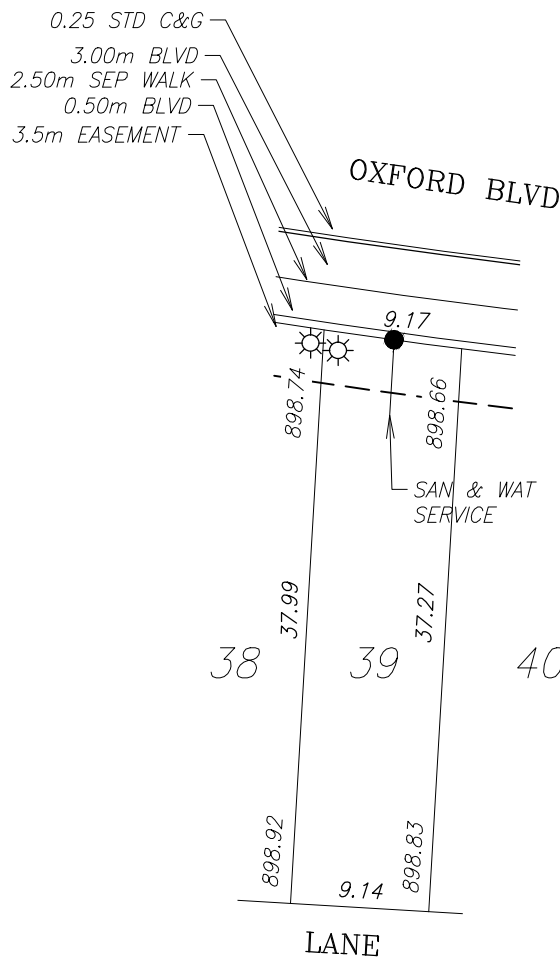
Town of Penhold
 Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
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LEGEND

- SAN & WATER
- ⊙ FIRE HYDRANT
- ⊙ GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- STREET LIGHT
- ⊠ COMMUNITY MAILBOX
- TRANSFORMER
- ⬠ 3 PARTY PEDESTAL
- ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.01
 LOWEST ELEVATION = 896.69

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 895.84
 STORM AT 5.0m INSIDE LOT = 895.84

CIVIC ADDRESS: 84 Oxford Blvd
 LOT: 39 BLOCK: 2 PLAN No.: -
 DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015
 APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015
 RECEIVED BY: _____ DATE: _____

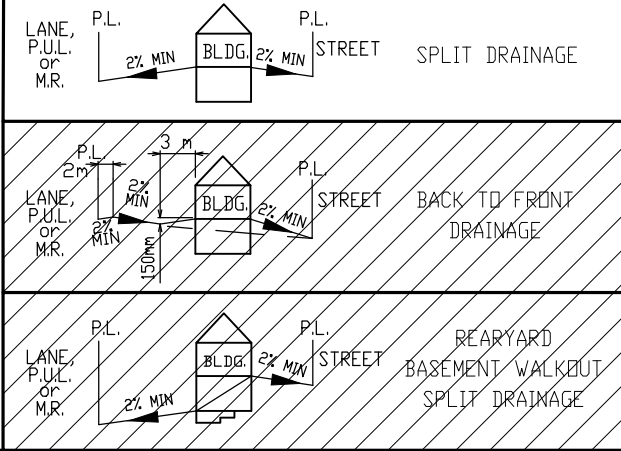
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 899.08
 ELEV. AT REAR OF HOUSE = 899.26

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

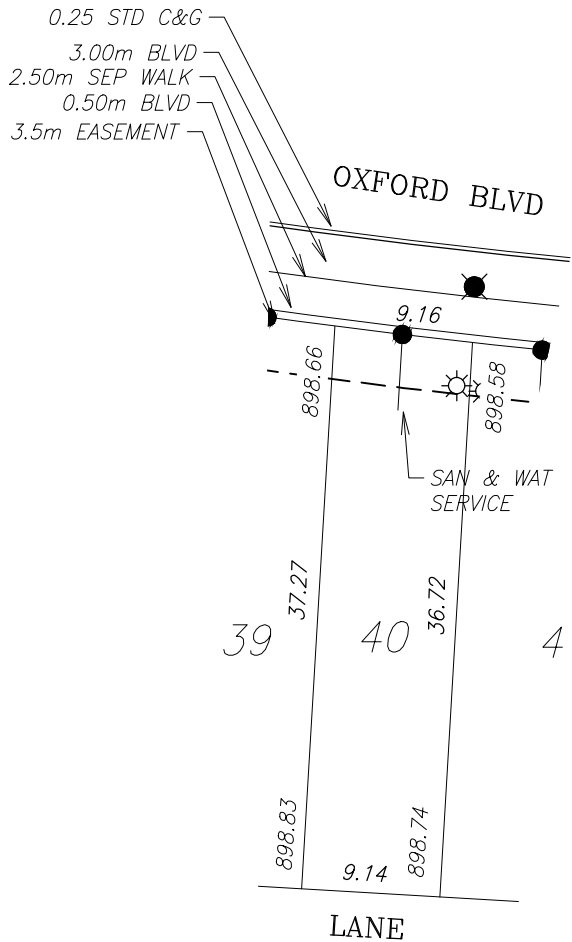
BUILDING GRADE CERTIFICATE

Town of Penhold
 Issued by: No.

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- LEGEND**
- SAN & WATER
 - ⊙ FIRE HYDRANT
 - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - ⬠ 3 PARTY PEDESTAL
 - ↑ DRIVEWAY LOCATION



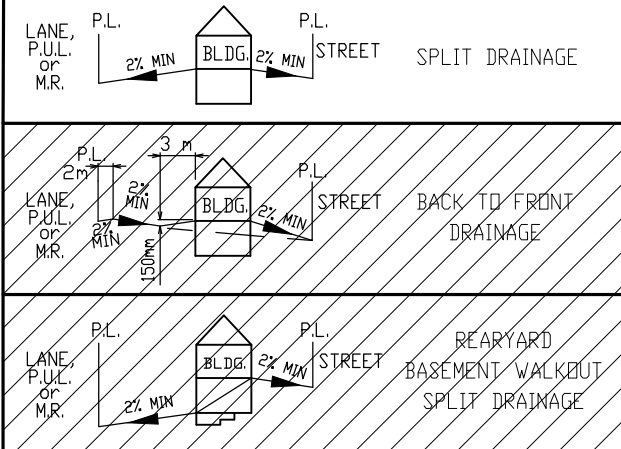
SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = 1.96 LOWEST ELEVATION = 896.66	CIVIC ADDRESS: 80 Oxford Blvd LOT: 40 BLOCK: 2 PLAN No.: - DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500 DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015 APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015 RECEIVED BY: DATE:
AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = 895.81 STORM AT 5.0m INSIDE LOT = 895.81	
DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = 899.00 ELEV. AT REAR OF HOUSE = 899.17	I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____ SIGNATURE OF OWNER OR REPRESENTATIVE _____

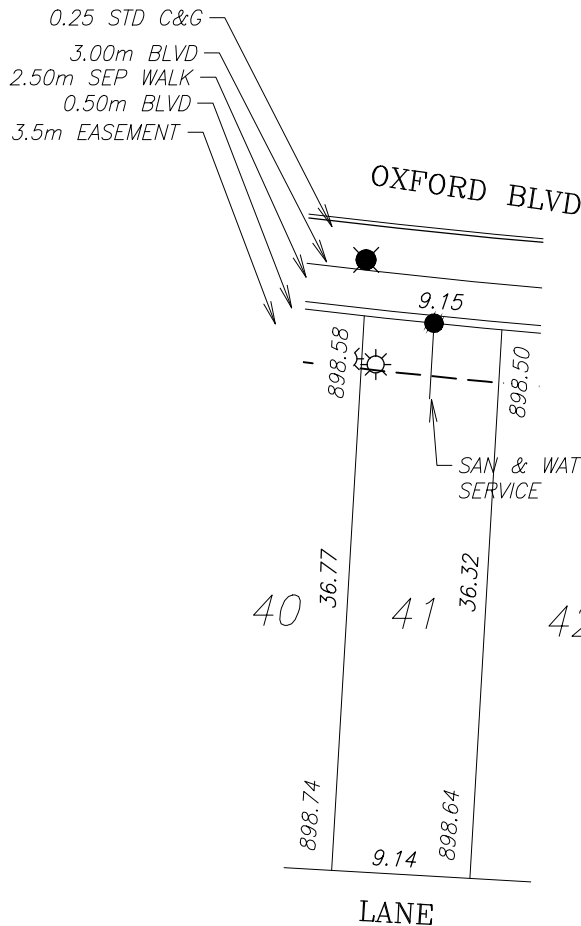
BUILDING GRADE CERTIFICATE

Town of Penhold
 Issued by: _____ No. _____

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- LEGEND**
- SAN & WATER
 - ⊙ FIRE HYDRANT
 - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - ⬠ 3 PARTY PEDESTAL
 - ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.10
 LOWEST ELEVATION = 896.44

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 895.59
 STORM AT 5.0m INSIDE LOT = 895.59

CIVIC ADDRESS: 76 Oxford Blvd
 LOT: 41 BLOCK: 2 PLAN No.: -
 DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015
 APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015
 RECEIVED BY: _____ DATE: _____

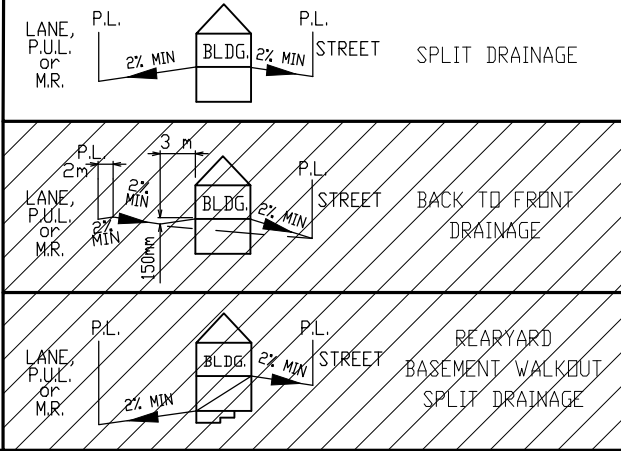
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 898.92
 ELEV. AT REAR OF HOUSE = 899.08

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

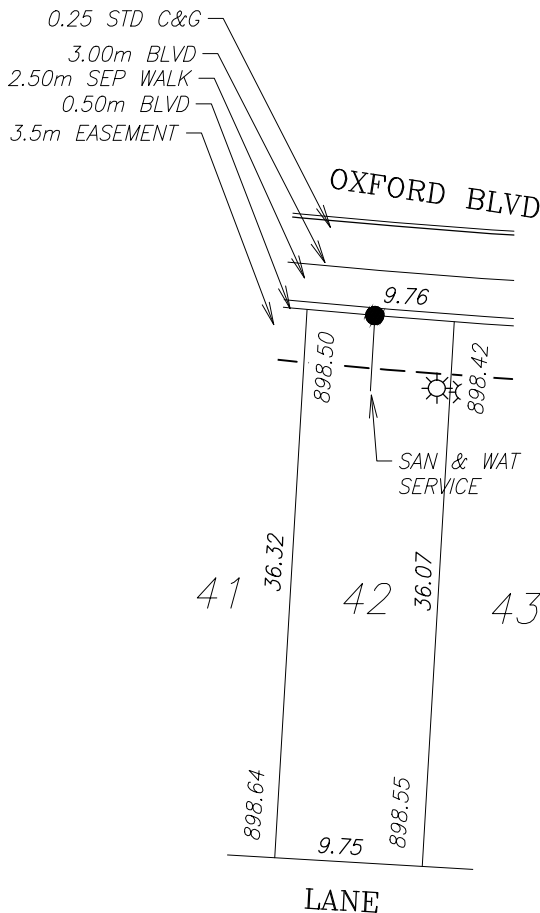
BUILDING GRADE CERTIFICATE

Town of Penhold
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- LEGEND**
- SAN & WATER
 - ⊙ FIRE HYDRANT
 - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - ⬠ 3 PARTY PEDESTAL
 - ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.06 LOWEST ELEVATION = 896.40
AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = 895.55 STORM AT 5.0m INSIDE LOT = 895.55

CIVIC ADDRESS: 72 Oxford Blvd
LOT: 42 BLOCK: 2 PLAN No.: -
DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500
DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015
APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015
RECEIVED BY: DATE:

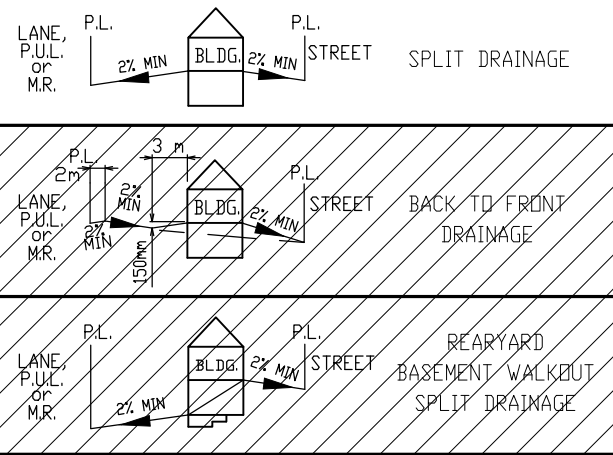
DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = 898.84 ELEV. AT REAR OF HOUSE = 898.98
--

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

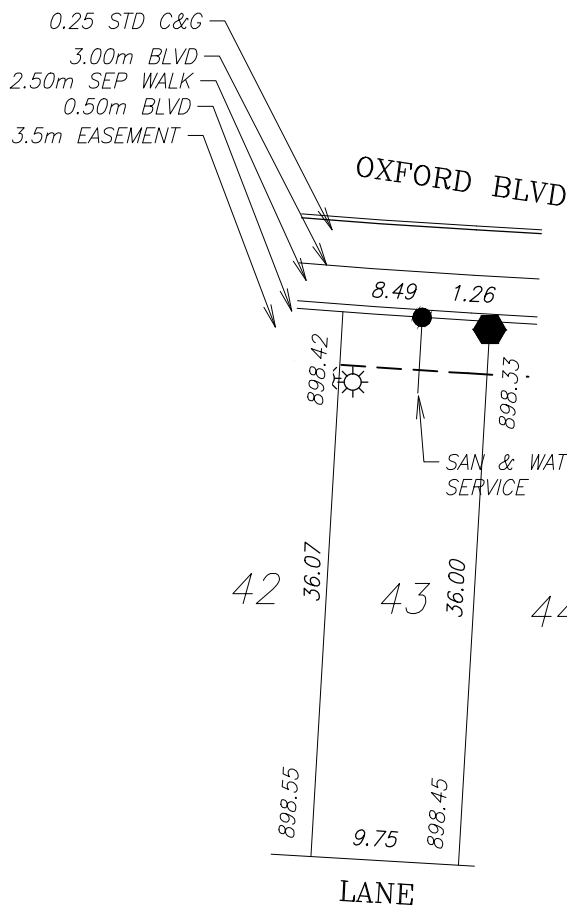
BUILDING GRADE CERTIFICATE

Town of Penhold
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- LEGEND**
- SAN & WATER
 - ⊙ FIRE HYDRANT
 - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - ⬠ 3 PARTY PEDESTAL
 - ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = <u>2.12</u> LOWEST ELEVATION = <u>896.25</u>	AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = <u>895.40</u> STORM AT 5.0m INSIDE LOT = <u>895.43</u>
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CIVIC ADDRESS: <u>68 Oxford Blvd</u>	LOT: <u>43</u> BLOCK: <u>2</u> PLAN No.: <u>-</u>
DEVELOPER: <u>MELCOR DEVELOPMENT LTD.</u> SCALE: <u>1:500</u>	DRAWN BY: <u>STANTEC CONSULTING LTD.</u> DATE: <u>JAN 15, 2015</u>
APPROVED BY: <u>KERRY SAUNDERS</u> DATE: <u>JAN 20, 2015</u>	RECEIVED BY: _____ DATE: _____

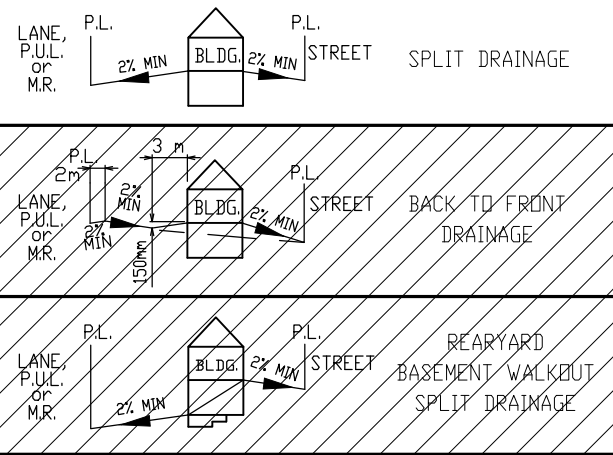
DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = <u>898.76</u> ELEV. AT REAR OF HOUSE = <u>898.89</u>
--

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

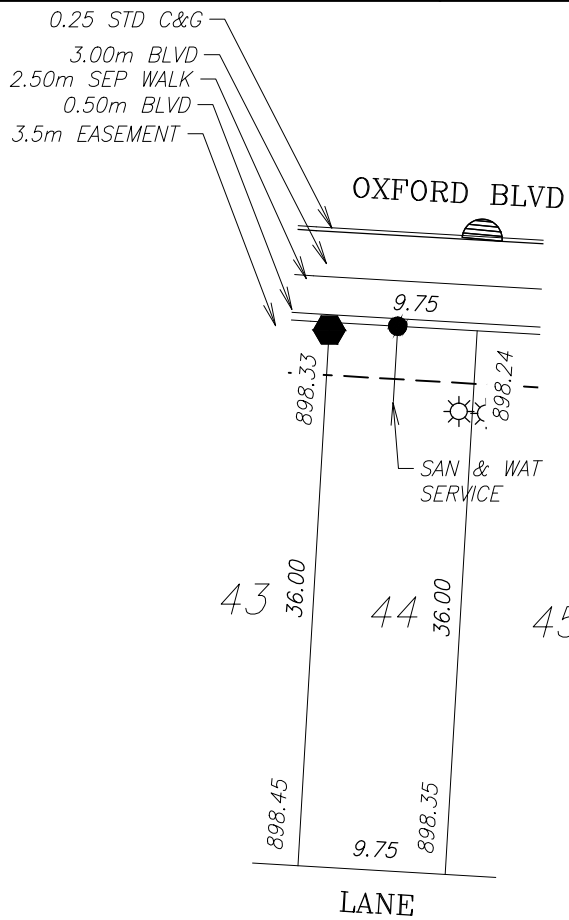
BUILDING GRADE CERTIFICATE

Town of Penhold
 Issued by: No.

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- LEGEND**
- SAN & WATER
 - ⊙ FIRE HYDRANT
 - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - ⬠ 3 PARTY PEDESTAL
 - ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.05 LOWEST ELEVATION = 896.23
AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = 895.38 STORM AT 5.0m INSIDE LOT = 895.38

CIVIC ADDRESS: 64 Oxford Blvd
LOT: 44 BLOCK: 2 PLAN No.: -
DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500
DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015
APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015
RECEIVED BY: DATE:

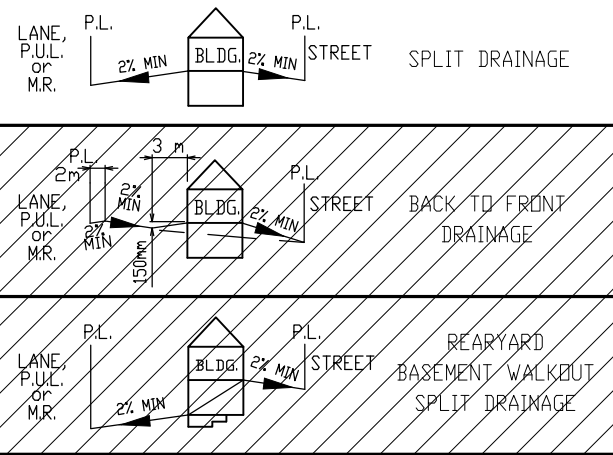
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 898.67
 ELEV. AT REAR OF HOUSE = 898.79

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

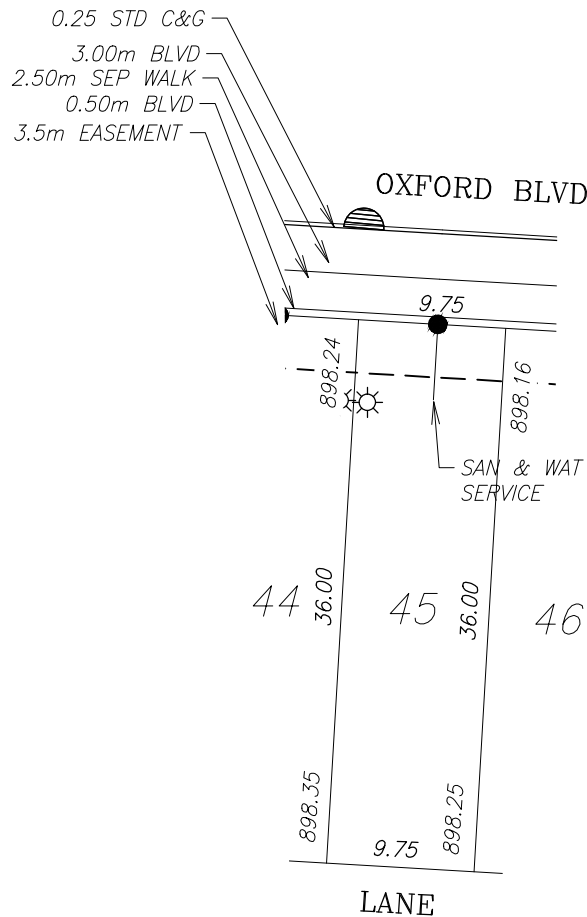
BUILDING GRADE CERTIFICATE

Town of Penhold
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- LEGEND**
- SAN & WATER
 - ⊙ FIRE HYDRANT
 - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - ⬠ 3 PARTY PEDESTAL
 - ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.14
 LOWEST ELEVATION = 896.06

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 895.21
 STORM AT 5.0m INSIDE LOT = 895.41

CIVIC ADDRESS: 60 Oxford Blvd
 LOT: 45 BLOCK: 2 PLAN No.: -
 DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015
 APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015
 RECEIVED BY: DATE:

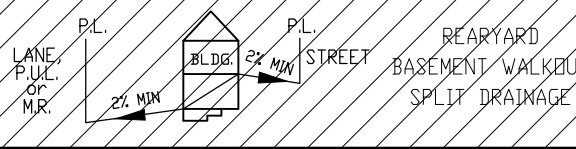
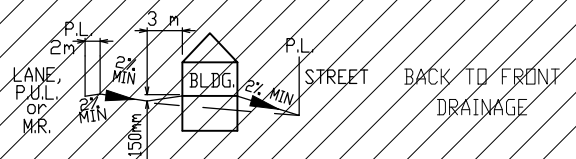
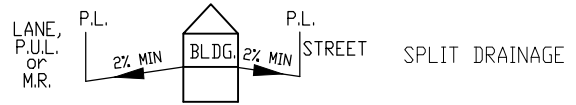
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 898.58
 ELEV. AT REAR OF HOUSE = 898.69

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

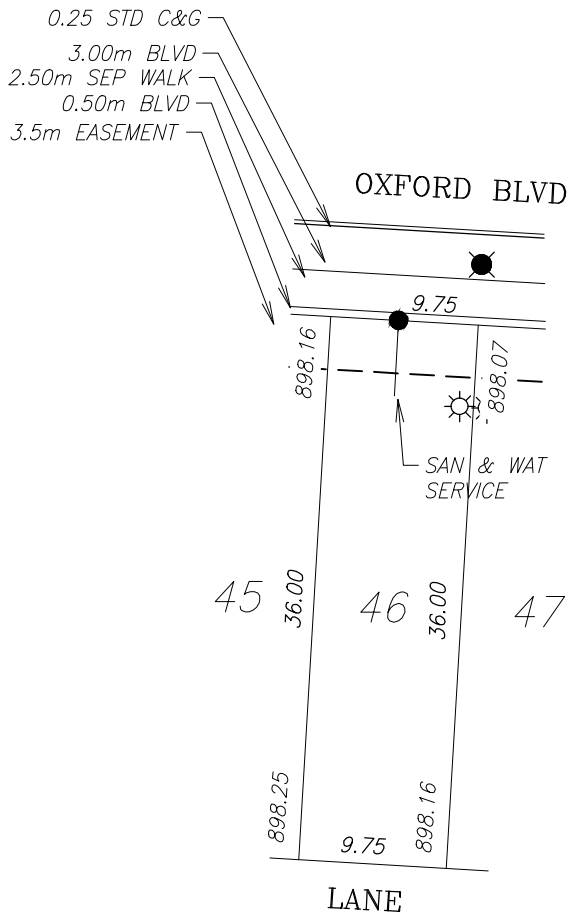
Town of Penhold
 Issued by: No.

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LEGEND

- SAN & WATER
- ⊗ FIRE HYDRANT
- GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- STREET LIGHT
- ⊠ COMMUNITY MAILBOX
- TRANSFORMER
- ◆ 3 PARTY PEDESTAL
- ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.07
 LOWEST ELEVATION = 896.05

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 895.20
 STORM AT 5.0m INSIDE LOT = 895.19

CIVIC ADDRESS: 56 Oxford Blvd
 LOT: 46 BLOCK: 2 PLAN No.: -
 DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015
 APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015
 RECEIVED BY: DATE:

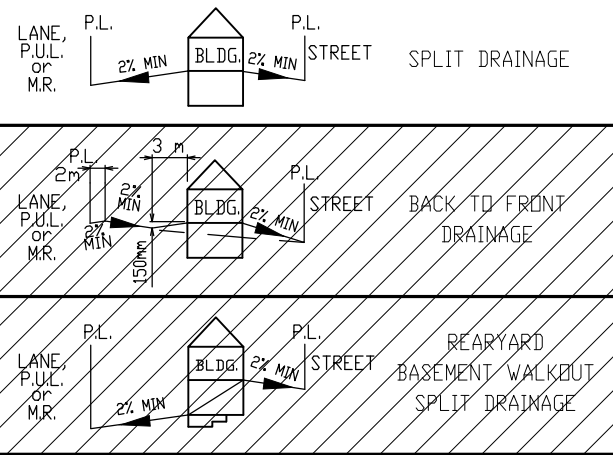
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 898.50
 ELEV. AT REAR OF HOUSE = 898.59

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

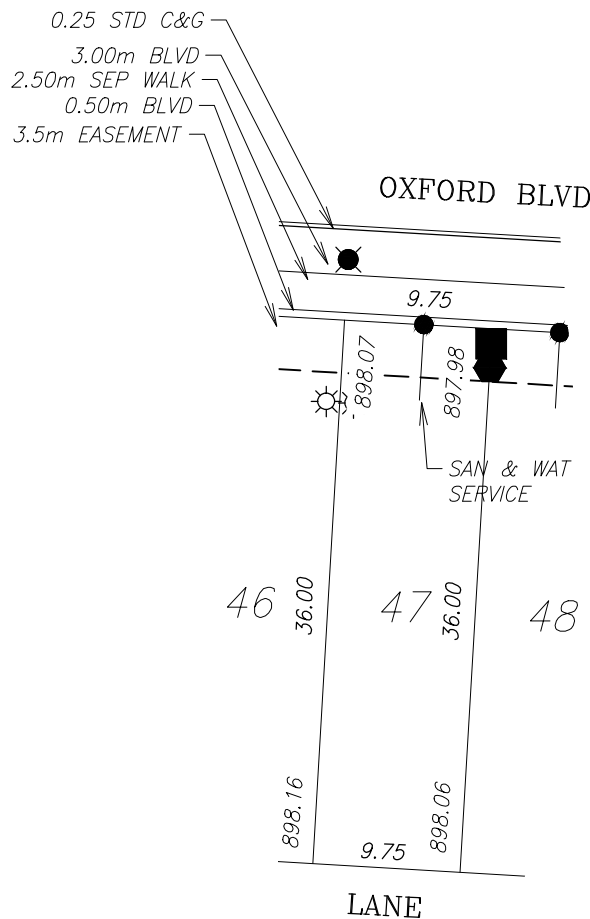
BUILDING GRADE CERTIFICATE

Town of Penhold
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1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE TOWN OF PENHOLD ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



- LEGEND**
- SAN & WATER
 - ⊙ FIRE HYDRANT
 - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - ◆ 3 PARTY PEDESTAL
 - ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.25
 LOWEST ELEVATION = 895.77

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 894.92
 STORM AT 5.0m INSIDE LOT = 894.87

CIVIC ADDRESS: 52 Oxford Blvd
 LOT: 47 BLOCK: 2 PLAN No.: -
 DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015
 APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015
 RECEIVED BY: DATE:

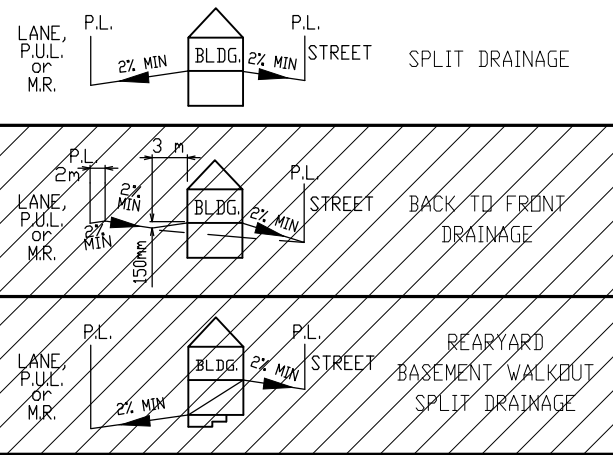
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 898.41
 ELEV. AT REAR OF HOUSE = 898.50

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

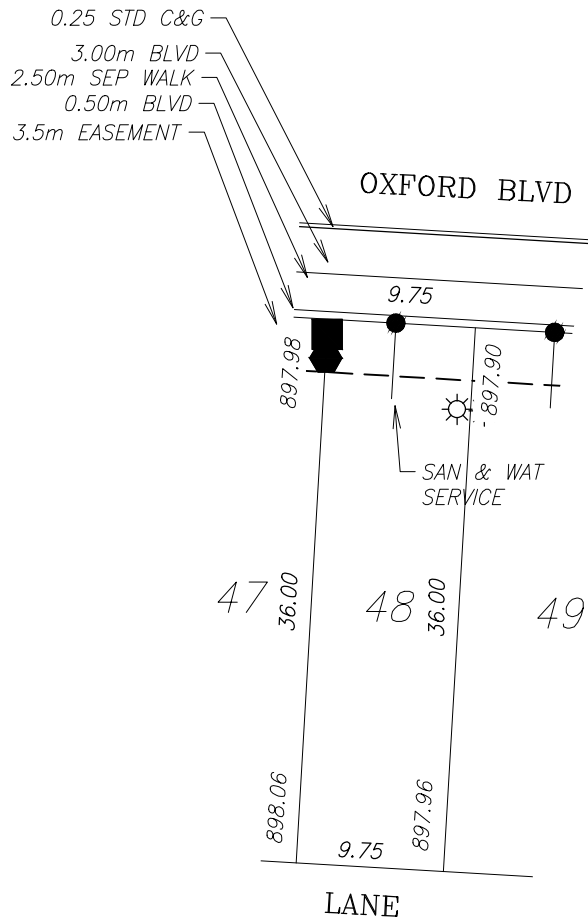
BUILDING GRADE CERTIFICATE

Town of Penhold
 Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE.
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- LEGEND**
- SAN & WATER
 - ⊙ FIRE HYDRANT
 - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - ⬠ 3 PARTY PEDESTAL
 - ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.25
 LOWEST ELEVATION = 895.69

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 894.84
 STORM AT 5.0m INSIDE LOT = 895.06

CIVIC ADDRESS: 48 Oxford Blvd
 LOT: 48 BLOCK: 2 PLAN No.: -
 DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015
 APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015
 RECEIVED BY: _____ DATE: _____

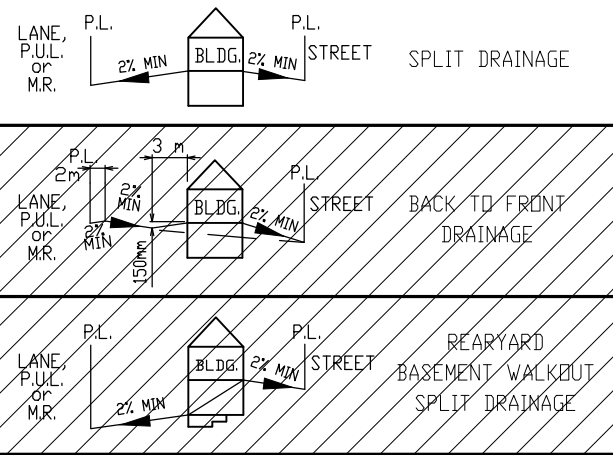
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 898.32
 ELEV. AT REAR OF HOUSE = 898.40

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

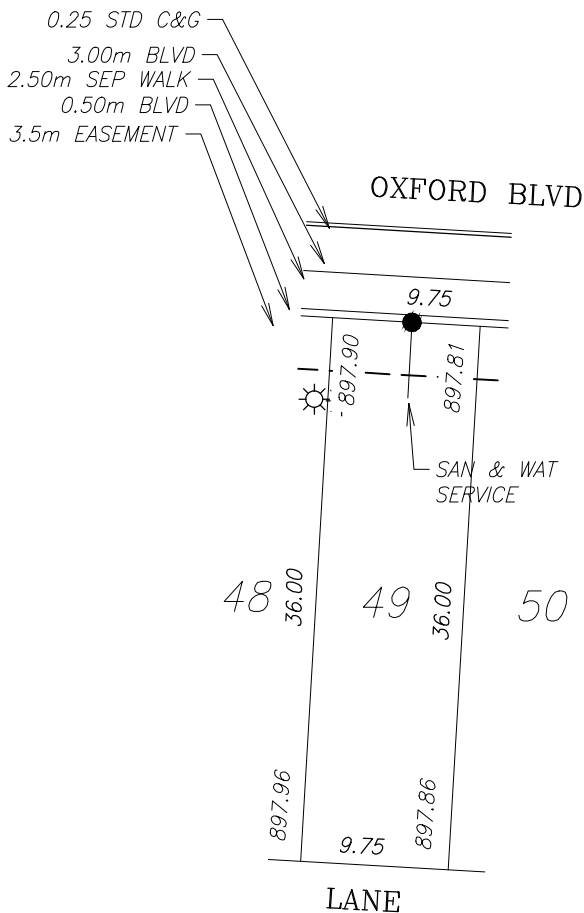
BUILDING GRADE CERTIFICATE

Town of Penhold
 Issued by: No.

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- LEGEND**
- SAN & WATER
 - ⊙ FIRE HYDRANT
 - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - ⬠ 3 PARTY PEDESTAL
 - ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.16
 LOWEST ELEVATION = 895.69

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 894.84
 STORM AT 5.0m INSIDE LOT = 895.05

CIVIC ADDRESS: 44 Oxford Blvd
 LOT: 49 BLOCK: 2 PLAN No.: -
 DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015
 APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015
 RECEIVED BY: DATE:

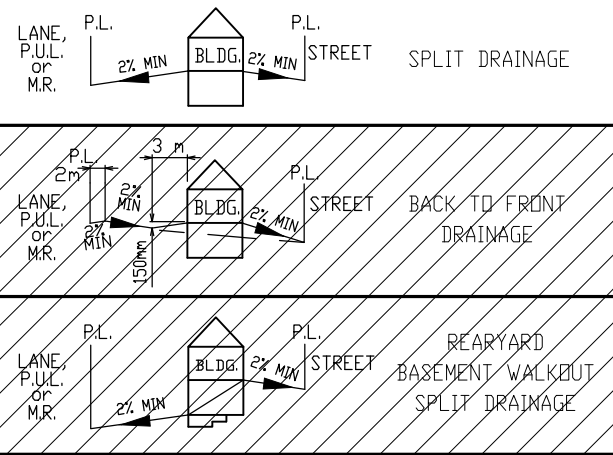
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 898.24
 ELEV. AT REAR OF HOUSE = 898.30

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

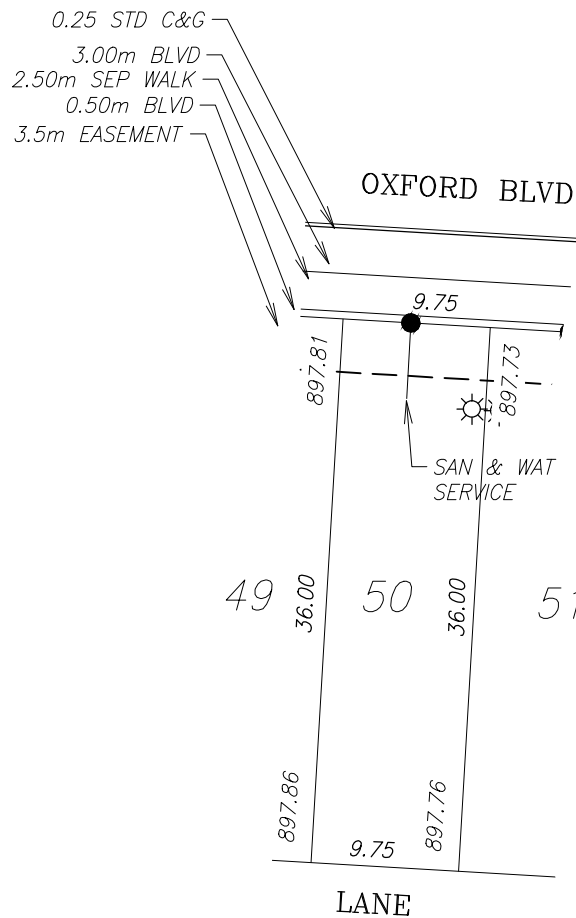
BUILDING GRADE CERTIFICATE

Town of Penhold
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- LEGEND**
- SAN & WATER
 - ⊙ FIRE HYDRANT
 - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - ⬠ 3 PARTY PEDESTAL
 - ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.08
 LOWEST ELEVATION = 895.69

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 894.84
 STORM AT 5.0m INSIDE LOT = 895.04

CIVIC ADDRESS: 40 Oxford Blvd
 LOT: 50 BLOCK: 2 PLAN No.: -
 DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015
 APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015
 RECEIVED BY: DATE:

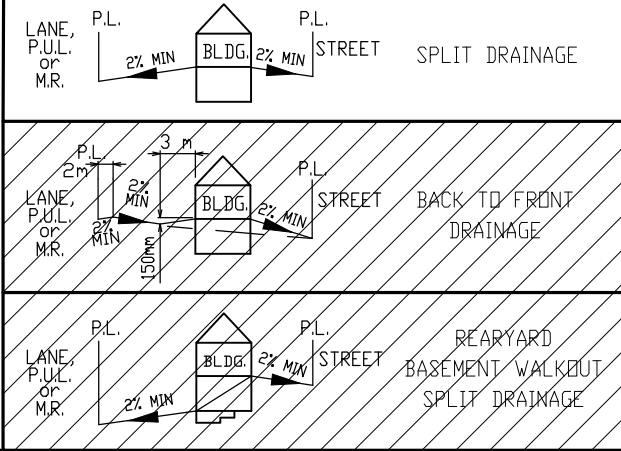
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 898.15
 ELEV. AT REAR OF HOUSE = 898.20

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

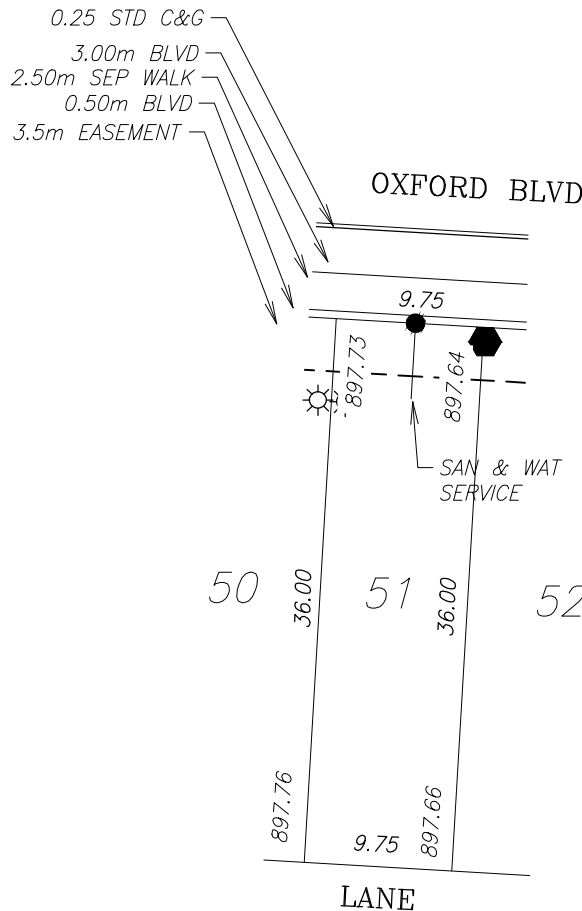
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 - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - ⬠ 3 PARTY PEDESTAL
 - ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.03
 LOWEST ELEVATION = 895.65

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 894.80
 STORM AT 5.0m INSIDE LOT = 895.03

CIVIC ADDRESS: 36 Oxford Blvd
 LOT: 51 BLOCK: 2 PLAN No.: -
 DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015
 APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015
 RECEIVED BY: DATE:

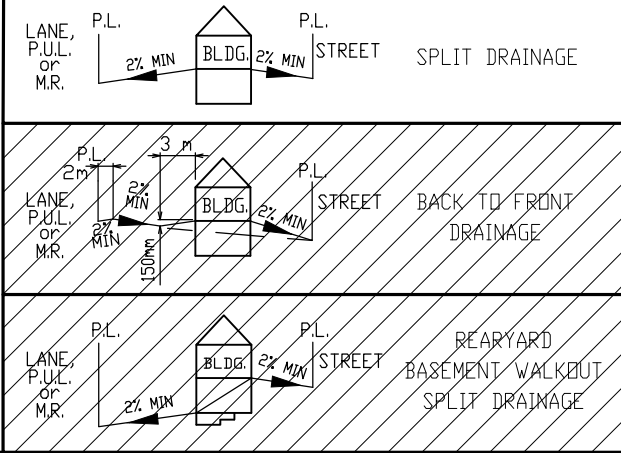
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 898.07
 ELEV. AT REAR OF HOUSE = 898.10

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

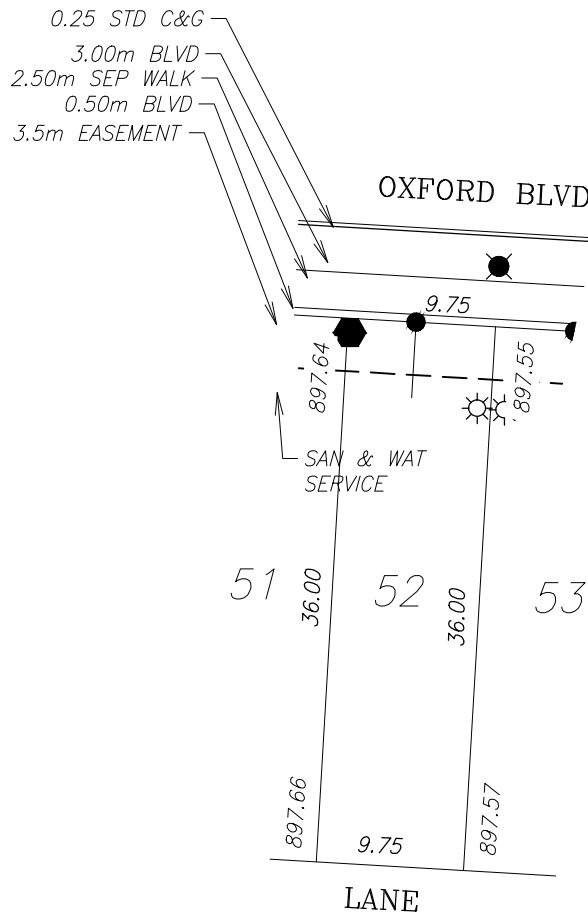
BUILDING GRADE CERTIFICATE

Town of Penhold
 Issued by: No.

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- LEGEND**
- SAN & WATER
 - ⊙ FIRE HYDRANT
 - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - ⬠ 3 PARTY PEDESTAL
 - ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.00
 LOWEST ELEVATION = 895.59

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 894.74
 STORM AT 5.0m INSIDE LOT = 894.98

CIVIC ADDRESS: 32 Oxford Blvd
 LOT: 52 BLOCK: 2 PLAN No.: -
 DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015
 APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015
 RECEIVED BY: _____ DATE: _____

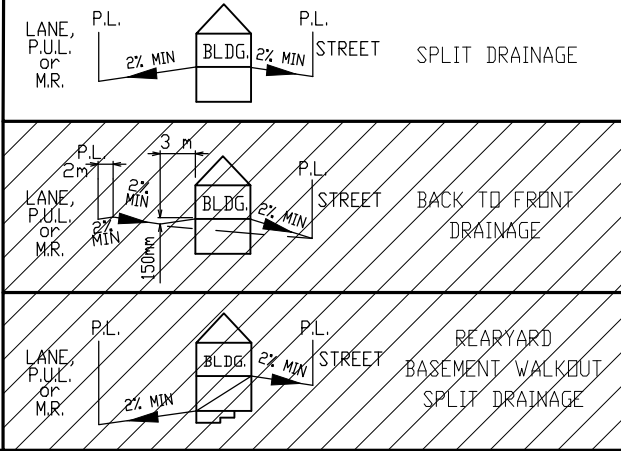
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 897.98
 ELEV. AT REAR OF HOUSE = 898.00

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

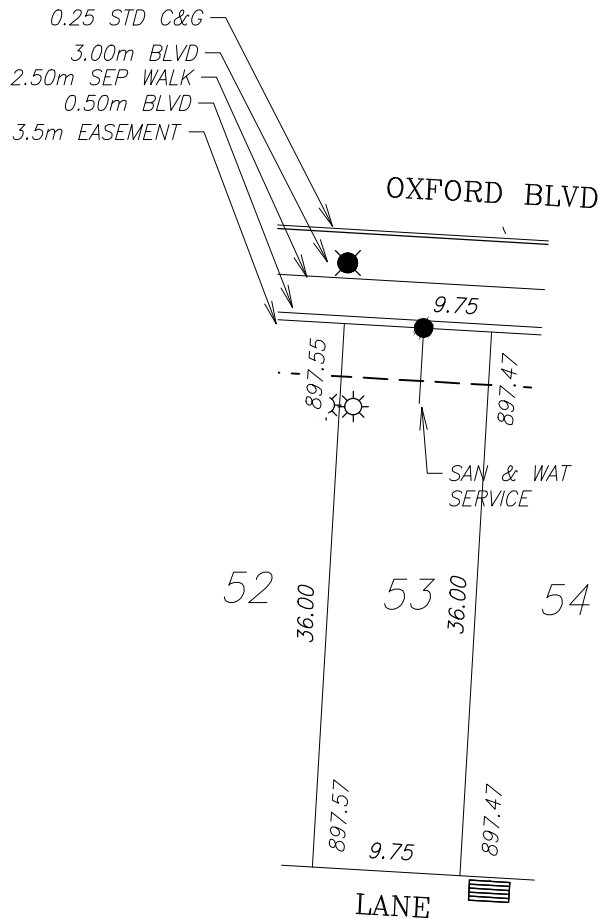
BUILDING GRADE CERTIFICATE

Town of Penhold
 Issued by: No.

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- LEGEND**
- SAN & WATER
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 - ⊙ GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - ⬠ 3 PARTY PEDESTAL
 - ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 1.91
 LOWEST ELEVATION = 895.60

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 894.75
 STORM AT 5.0m INSIDE LOT = 894.94

CIVIC ADDRESS: 28 Oxford Blvd
 LOT: 53 BLOCK: 2 PLAN No.: -
 DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015
 APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015
 RECEIVED BY: DATE:

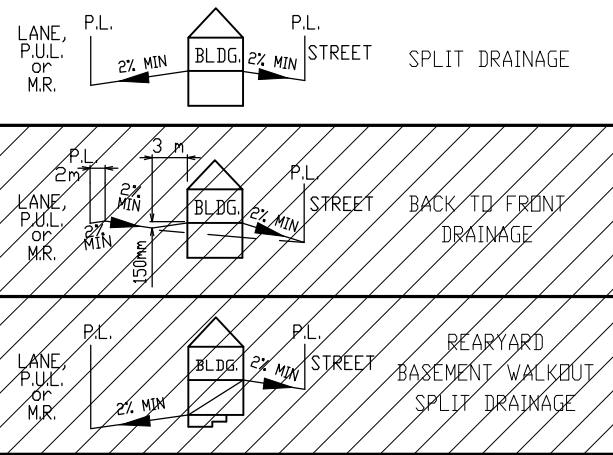
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 897.89
 ELEV. AT REAR OF HOUSE = 897.91

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

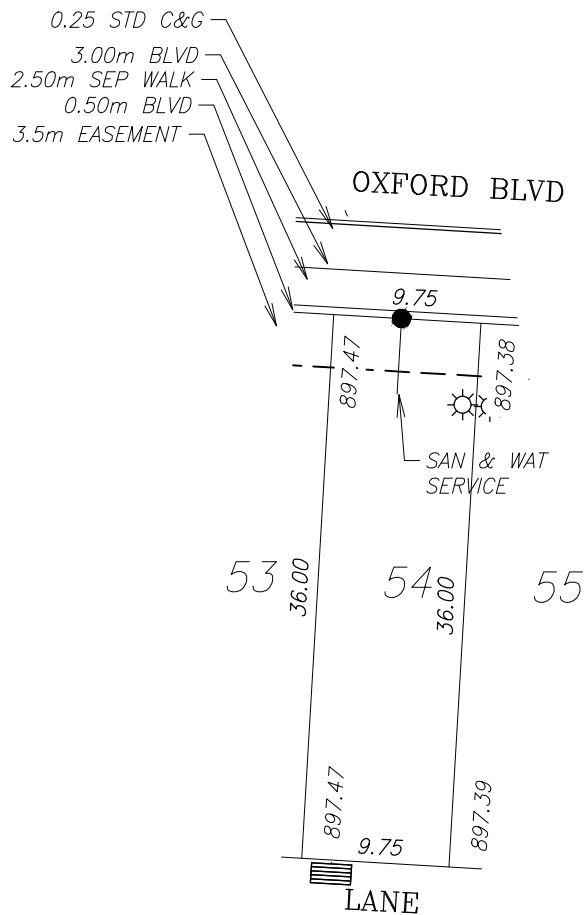
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LEGEND

- SAN & WATER
- ⊙ FIRE HYDRANT
- GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- STREET LIGHT
- ⊠ COMMUNITY MAILBOX
- TRANSFORMER
- ◆ 3 PARTY PEDESTAL
- ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = <u>1.82</u> LOWEST ELEVATION = <u>895.60</u>
AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = <u>894.75</u> STORM AT 5.0m INSIDE LOT = <u>894.99</u>

CIVIC ADDRESS: <u>24 Oxford Blvd</u>
LOT: <u>54</u> BLOCK: <u>2</u> PLAN No.: <u>-</u>
DEVELOPER: <u>MELCOR DEVELOPMENT LTD.</u> SCALE: <u>1:500</u>
DRAWN BY: <u>STANTEC CONSULTING LTD.</u> DATE: <u>JAN 15, 2015</u>
APPROVED BY: <u>KERRY SAUNDERS</u> DATE: <u>JAN 20, 2015</u>
RECEIVED BY: _____ DATE: _____

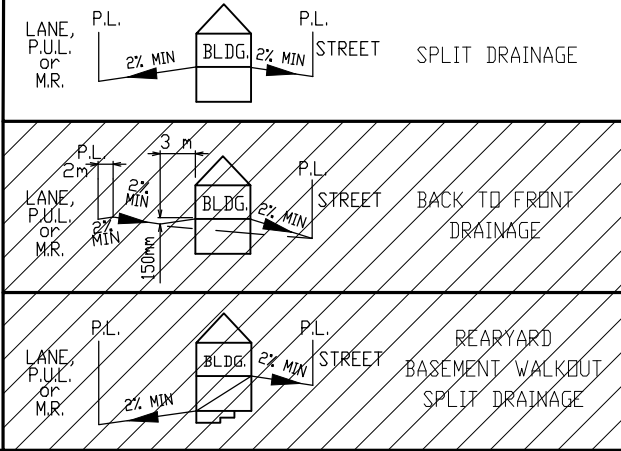
DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = <u>897.81</u> ELEV. AT REAR OF HOUSE = <u>897.81</u>
--

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

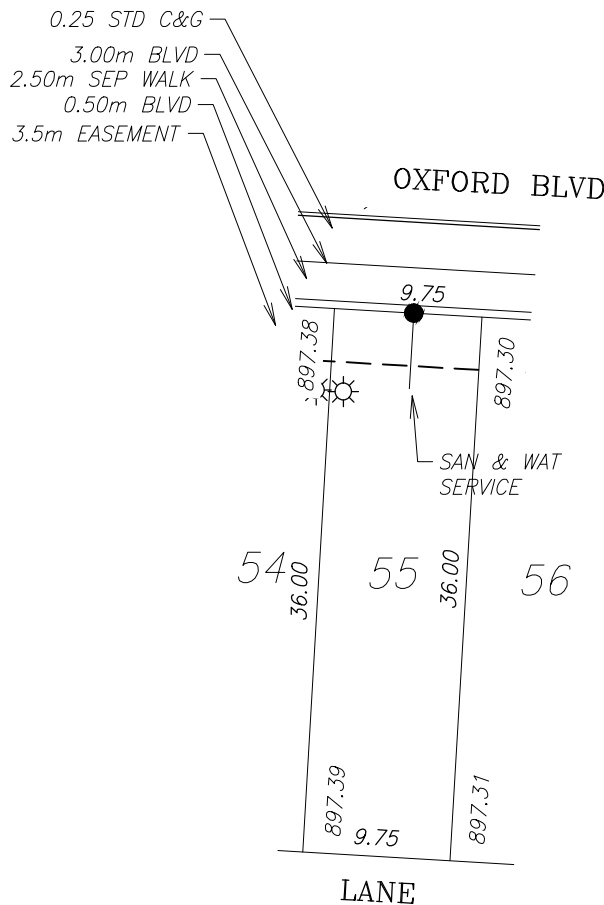
BUILDING GRADE CERTIFICATE

Town of Penhold
 Issued by: _____ No. _____

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- LEGEND**
- SAN & WATER
 - ⊙ FIRE HYDRANT
 - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - ⬠ 3 PARTY PEDESTAL
 - ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.21
 LOWEST ELEVATION = 895.13

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 894.28
 STORM AT 5.0m INSIDE LOT = 894.85

CIVIC ADDRESS: 20 Oxford Blvd
 LOT: 55 BLOCK: 2 PLAN No.: -
 DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015
 APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015
 RECEIVED BY: _____ DATE: _____

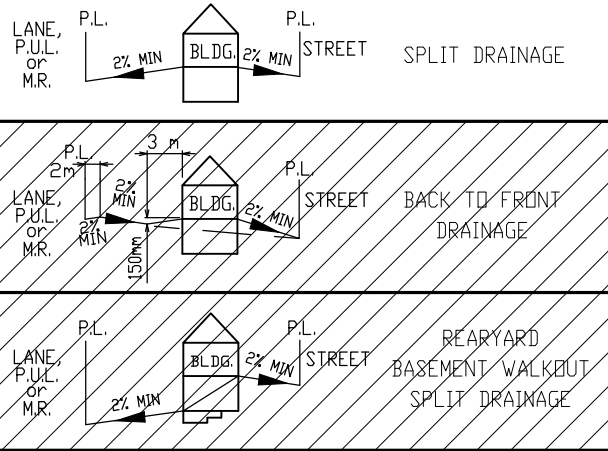
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 897.72
 ELEV. AT REAR OF HOUSE = 897.73

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

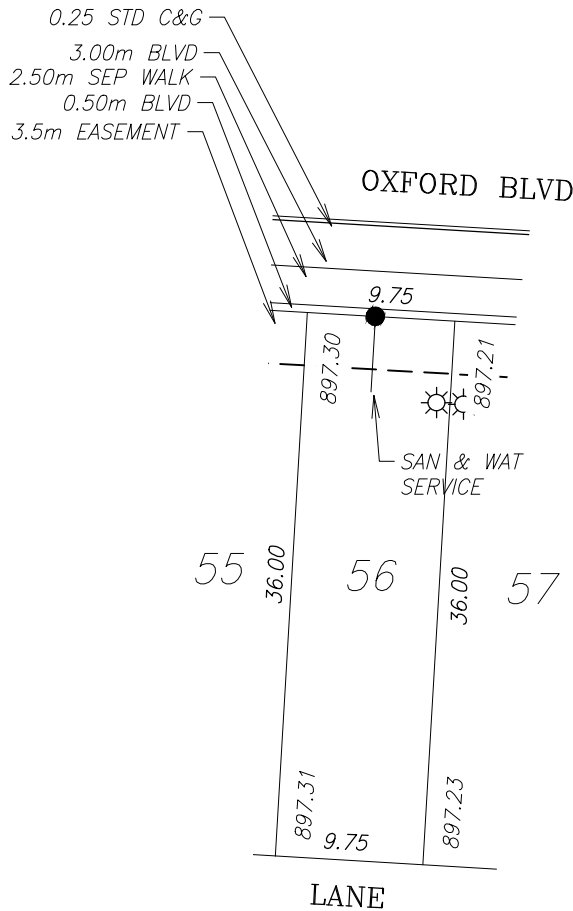
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- LEGEND**
- SAN & WATER
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 - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - ⬠ 3 PARTY PEDESTAL
 - ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 4.5m FROM SIDEYARD LOTLINE

TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = <u>2.17</u> LOWEST ELEVATION = <u>895.08</u>	CIVIC ADDRESS: <u>16 Oxford Blvd</u> LOT: <u>56</u> BLOCK: <u>2</u> PLAN No.: <u>-</u> DEVELOPER: <u>MELCOR DEVELOPMENT LTD.</u> SCALE: <u>1:500</u> DRAWN BY: <u>STANTEC CONSULTING LTD.</u> DATE: <u>JAN 15, 2015</u> APPROVED BY: <u>KERRY SAUNDERS</u> DATE: <u>JAN 20, 2015</u> RECEIVED BY: _____ DATE: _____
AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = <u>894.23</u> STORM AT 5.0m INSIDE LOT = <u>895.01</u>	

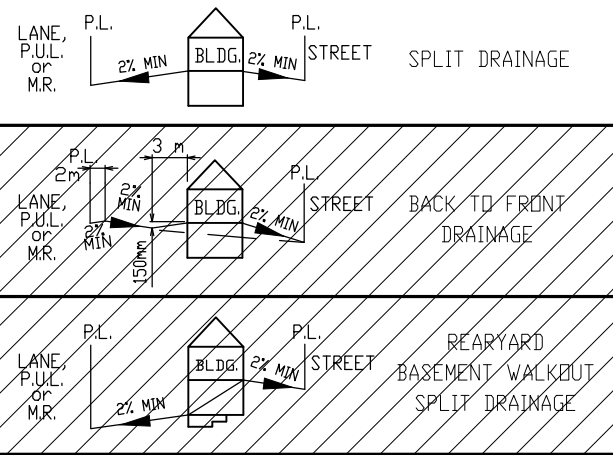
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 897.64
 ELEV. AT REAR OF HOUSE = 897.65

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

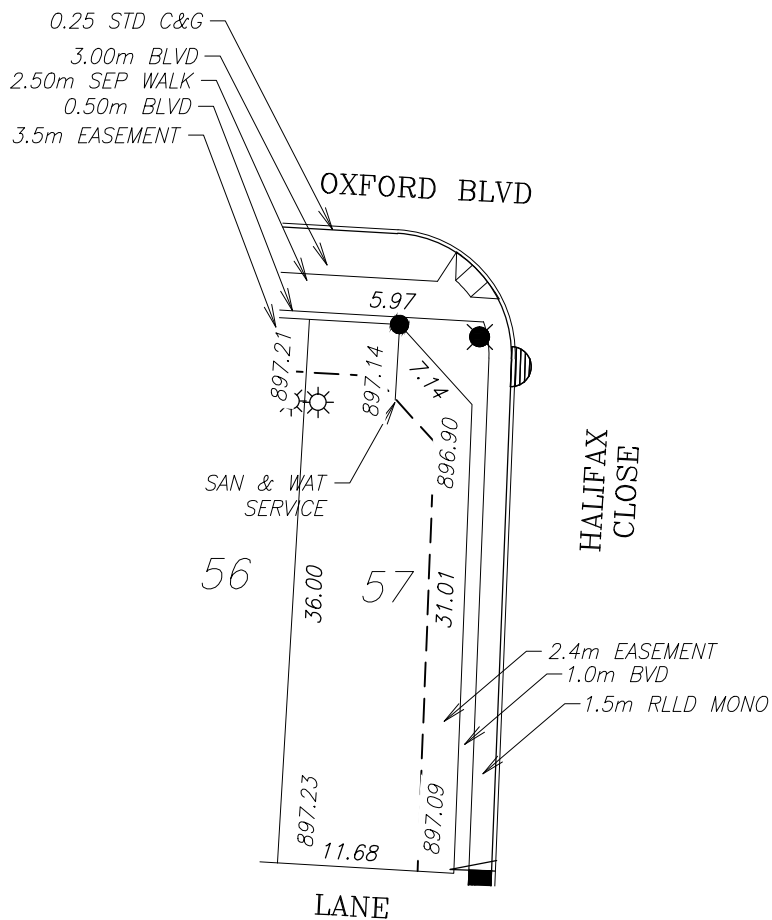
BUILDING GRADE CERTIFICATE

Town of Penhold
 Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE TOWN OF PENHOLD ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



- LEGEND**
- SAN & WATER
 - ⊙ FIRE HYDRANT
 - ⊙ GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - ⬠ 3 PARTY PEDESTAL
 - ↑ DRIVEWAY LOCATION



SANITARY AND WATER SERVICE LOCATION IS 5.97m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.25
 LOWEST ELEVATION = 894.93

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 894.08
 STORM AT 5.0m INSIDE LOT = 894.80

CIVIC ADDRESS: 12 Oxford Blvd
 LOT: 57 BLOCK: 2 PLAN No.: -
 DEVELOPER: MELCOR DEVELOPMENT LTD. SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD. DATE: JAN 15, 2015
 APPROVED BY: KERRY SAUNDERS DATE: JAN 20, 2015
 RECEIVED BY: DATE:

DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 897.55
 ELEV. AT REAR OF HOUSE = 897.57

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____